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Item No. 6.2	Classification: Open	Date: 13 March 2024	Meeting Name: Planning Committee - Smaller Applications
Report title:	Development Management planning application: Application for: Full Planning Application 22/AP/2746 Address: 67-71 Tanner Street, Southwark, London, SE1 3PL Proposal: Minor material amendment to Condition 1 for planning application 19/AP/0865 dated 29/01/2021 for 'Construction of a 9 storey plus basement building to provide an 73 bedroom hotel with restaurant at ground floor level and associated cycle parking, refuse and recycling stores, and plant'. Amendments include adjustment of window sizes and positions, enlargement of lift and stair overrun and plant enclosure and replacement of brick planters on west elevation with green walling.		
Ward or groups affected:	London Bridge and West Bermondsey		
From:	Director of Planning and Growth		
Application Start Date 02/08/2022		PPA Expiry Date	
Earliest Decision Date 23/08/2022			

RECOMMENDATION

1.
 - a) That planning permission is granted, subject to conditions and endorsement of the original Section 106 legal agreement.
 - b) That in the event that the legal agreement has not been endorsed by 13 June 2024 the Director of Planning and Growth be authorised to refuse planning permission for 22/AP/2746, if appropriate, for the reasons set out in paragraph 76 of this report.

EXECUTIVE SUMMARY

2. The application site is 67-71 Tanner Street and benefits from planning permission 19/AP/0865 for:
'Construction of a 9 storey plus basement building to provide an 73 bedroom hotel with restaurant at ground floor level and associated cycle parking, refuse and recycling stores, and plant'.

3. The original application 19/AP/0865 was considered at Planning Sub-Committee B on 14 September 2020 and was approved 29 January 2021 following the completion of a Section 106 agreement.
4. This is a Section 73 (S.73) application to amend the approved plans with the following changes:
 - Adjustment of window sizes and details of reveals
 - Adjustment to width and form of ground floor bays
 - Enlargement and re-positioning of lift and stair overrun and plant enclosure
 - Replacement of brick planters on west elevation with climbers on a stainless steel frame
 - Introduction of a parapet detail
 - Omission of projecting brick detail on viaduct elevation
 - Addition of aluminium copings

Figure 1: CGI from Maltby Street



5. The original planning permission has been implemented and construction has progressed with the main structure being completed.

Figure 2: The site on 26 February 2024



6. The proposed changes are acceptable in design terms and would not adversely impact on the amenity of neighbouring properties in terms of daylight, sunlight, sense of enclosure or noise. With the proposed climbers an Urban Greening Factor of 0.345 would be achieved.
7. There are no other changes proposed to the original planning permission. It is recommended that planning permission is granted, subject to the original conditions being carried over and an additional noise validation condition being added, and the endorsement of the original Section 106 agreement.

8. BACKGROUND INFORMATION

Site location and description

9. The application site is triangular in shape and approximately 0.046 hectares in size. The plot fronts Tanner Street to the south and is bound by the railway viaduct serving London Bridge Station to the north/east and by the flank wall of the seven storey 'Leatherworks' to the west.
10. Planning permission 19/AP/0865 was approved on 29 January 2021 for the following:

'Construction of a 9 storey plus basement building to provide an 73 bedroom hotel with restaurant at ground floor level and associated cycle parking, refuse and recycling stores, and plant'.
11. The planning permission has been implemented and construction has progressed with the main structure being completed. The hotel will be a Travelodge. Prior to the planning permission being implemented the site was vacant following demolition of a commercial building.

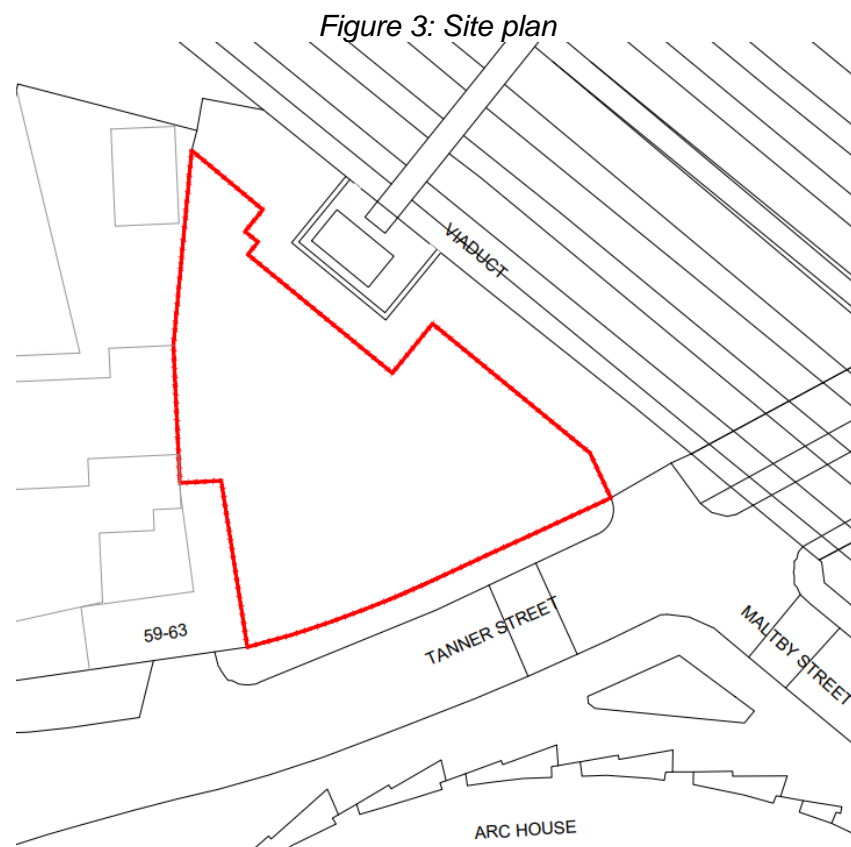


Figure 4: Consented scheme – Tanner Street elevation



12. The application site is subject to the following designations:
 - Bermondsey Area Vision Boundary
 - North Southwark and Roman Roads Archaeological Priority Area
 - Parliament Hill summit to St Paul's Cathedral London Views
 - Air Quality Management Area
 - Flood Zones 2 and 3
13. The application site is not located within a conservation area and does not comprise any listed buildings. Bermondsey Street Conservation Area is located approximately 50m to the west of the site.
14. The following Grade II listed buildings are located over 130m to the east of the site:
 - Warehouse (Sarsons Vinegar Factory) Roper Lane
 - Bonded Warehouse (Sarsons Vinegar Factory) Roper Lane
 - Former Still House (Sarsons Vinegar Factory) Roper Lane
 - Plumbers Office (Sarsons Vinegar Factory) Roper Lane
 - Engine House (Sarsons Vinegar Factory) Roper Lane

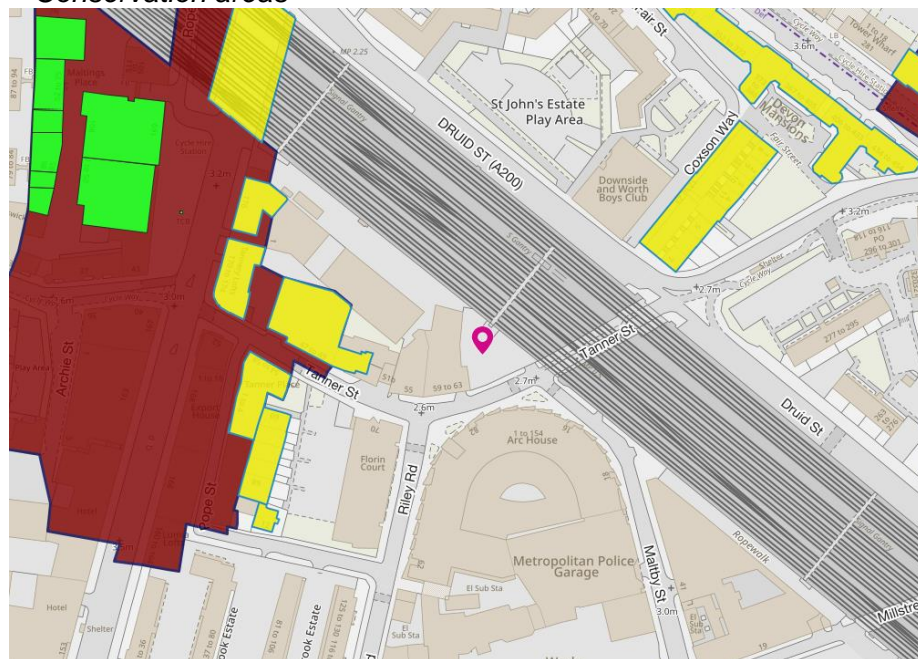
- Broomhouse (Sarsons Vinegar Factory) Roper Lane
- Malt Store (Sarsons Vinegar Factory) Roper Lane
- Fermentation Vats (Sarsons Vinegar Factory) Roper Lane

15. The following buildings close to the site are on the Local List:

- 1-23 Coxson Way
- 45-49 (odd) Tanner Street
- 12 Pope Street
- 60-68 Tanner Street
- 1-4 Pope Street
- 170-174 (even) Tanner Street
- 176 Tower Bridge Road
- Railway bridge over Tower Bridge Road

Figure 5: Heritage assets

Yellow – Local list
 Green – Listed
 Brown – Conservation areas



16. The local area is characterised by the complex overlapping of road and rail networks and a mix of land uses. Ground floor office units along Tanner Street complement commercial activities along Tower Bridge Road, to the west, and Maltby Street to the east. Upper floors are typically residential, though there are exceptions to this along Tanner Street. The "Arc" building opposite comprises office accommodation at ground floor level with residential use above and rises to 10 storeys. In general, the surrounding architectural character is very mixed, but there is a dense, robust, industrial character woven through much of the townscape.

Details of proposal

17. Planning permission 19/AP/0865 was approved on 29 January 2021 for the following:

'Construction of a 9 storey plus basement building to provide an 73 bedroom hotel with restaurant at ground floor level and associated cycle parking, refuse and recycling stores, and plant'.

18. This S.73 application seeks a minor material amendment to Condition 1 (Approved Plans) of planning permission 19/AP/0865 for the following changes:

- Adjustment of window sizes and details of reveals
- Adjustment to width and form of ground floor bays
- Enlargement and re-positioning of lift and stair overrun and plant enclosure
- Replacement of brick planters on west elevation with climbers on a stainless steel frame
- Introduction of a parapet detail
- Omission of projecting brick detail on viaduct elevation
- Addition of aluminium copings
- Ground floor doors re-positioned

Figure 6: Proposed vs. Consented – Tanner Street elevation



19. The reasons for the changes within this application are:
- The window pattern has been amended so there is less of a stagger between the floors. This is due to Travelodge's requirement for the room layouts.
 - The windows to the ground floor have been widened so that the brick piers are whole bricks in a symmetrical and neat pattern.

- The head room of the stairs to the roof plant in the original planning permission was insufficient and as a result the proposal is to widen the overrun. The consented roof plant did not allow enough room for the mechanical equipment required for the hotel.
 - There was no access to the planters, hence the amendment to a green wall.
 - The parapet has been introduced to add detail to the top of the building.
 - Aluminium copings have been proposed as they allow for an overhang which reduces staining to the brick work and are safer when abseiling is proposed for the window cleaning as they do not fray the ropes as they pass over the parapet.
 - The ground floor fire escape door has been moved to the viaduct elevation to be set away from the main hotel entrance.
20. During the course of the application the proposed plans have been amended with the following:
- Top of the plant enclosure lowered (in line with consented scheme) and moved away from the parapet wall to the adjoining building 59-63 Tanner Street
 - Green walling changed to climbers on a stainless steel frame
 - Window reveals deeper set

Consultation responses from members of the public and local groups

21. Site notices were erected and neighbour letters were sent out on 10 August 2022.
22. Contributors were re-consulted on 17 January 2023 for the following reasons:
- Daylight and Sunlight Assessment submitted
 - Acoustic Report submitted
 - Proposed plans updated to show the amendments circled in red
23. Summarised below are the material planning consideration raised by members of the public.
24. 16 comments have been received comprising 14 objections relating to the following matters:
- Reduction in daylight and sunlight for neighbouring buildings from the roof top plant
 - Increase in noise and pollution from increase in size and re-location of rooftop plant
 - Lack of detail of proposed green wall
 - Lack of consultation
 - Appearance not in keeping with surrounding area
 - The size and scale of the rooftop plant

25. These matters are addressed in the relevant parts of this report.

Planning history of the site, and adjoining or nearby sites

26. Any decisions which are significant to the consideration of the current application are referred to within the relevant sections of the report.

KEY ISSUES FOR CONSIDERATION

Summary of main issues

27. The main issues to be considered in respect of this application are:

- Principle of the proposed development in terms of land use;
- Impact of proposed development on amenity of adjoining occupiers and surrounding area;
- Design;
- Transport;
- Ecology and biodiversity;
- Impact on trees;
- Community impact and equalities assessment.

28. These matters are discussed in detail in the 'Assessment' section of this report.

Legal context

29. Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires planning applications to be determined in accordance with the development plan, unless material considerations indicate otherwise. In this instance the development plan comprises the London Plan 2021 and the Southwark Plan 2022.

30. There are also specific statutory duties in respect of the Public Sector Equalities Duty which are highlighted in the relevant sections below and in the overall assessment at the end of the report.

Planning policy

31. The statutory development plans for the Borough comprise the London Plan 2021 and the Southwark Plan 2022. The National Planning Policy Framework 2023 and emerging policies constitute material considerations but are not part of the statutory development plan. A list of policies which are relevant to this application is provided at Appendix 3. Any policies which are particularly relevant to the consideration of this application are highlighted in the report.

ASSESSMENT

Principle of the proposed development in terms of land use

32. The ability to seek permission to develop land without compliance with conditions attached to an extant planning permissions is set out within S.73 of the Town and Country Planning Act 1990. An application under S.73 results in a new permission being issued, although the time given to implement the permission remains unchanged, and is not extended as a result of any S.73 permission. Whilst a planning authority should take into consideration all relevant matters, including current policies at the point it determines a S.73 application, it must also take into account the scope of the changes being requested, and the status of the permission, in terms of how far construction has progressed.
33. The planning issues relevant to the overall development were set out in full in the committee report for application 19/AP/0865. The requested changes relate to the design of the development. No significant new material issues have been identified and as such it is not considered reasonable or necessary to carry out a comprehensive reassessment of all planning matters. The main issues to be considered in respect of this application are:
- Impact of proposed development on amenity of adjoining occupiers and surrounding area;
 - Design; and,
 - Urban greening.
34. S.73 applications can be used to vary or remove conditions associated with a planning permission. This application seeks to vary Condition 1 of permission 19/AP/0865 which is the Approved Plans condition. Consented plans would be superseded in line with the proposed changes. These changes are considered to be within the scope of a S.73 application as they are minor material amendments and the description of development would not change.

Impact of proposed development on amenity of adjoining occupiers and surrounding area

35. The neighbouring buildings are:
- 82 Tanner Street (Arc House)
 - 70 Tanner Street (Florin Court)
 - 59-63 Tanner Street
36. The only amendments to the consented scheme 19/AP/0865 that would have a potential impact on adjoining occupiers and the surrounding area are to the lift and stair overrun and plant enclosure. The height would remain as approved.

Figure 7: Proposed viaduct elevation



Figure 8: Consented viaduct elevation



Figure 9: Consented roof plan

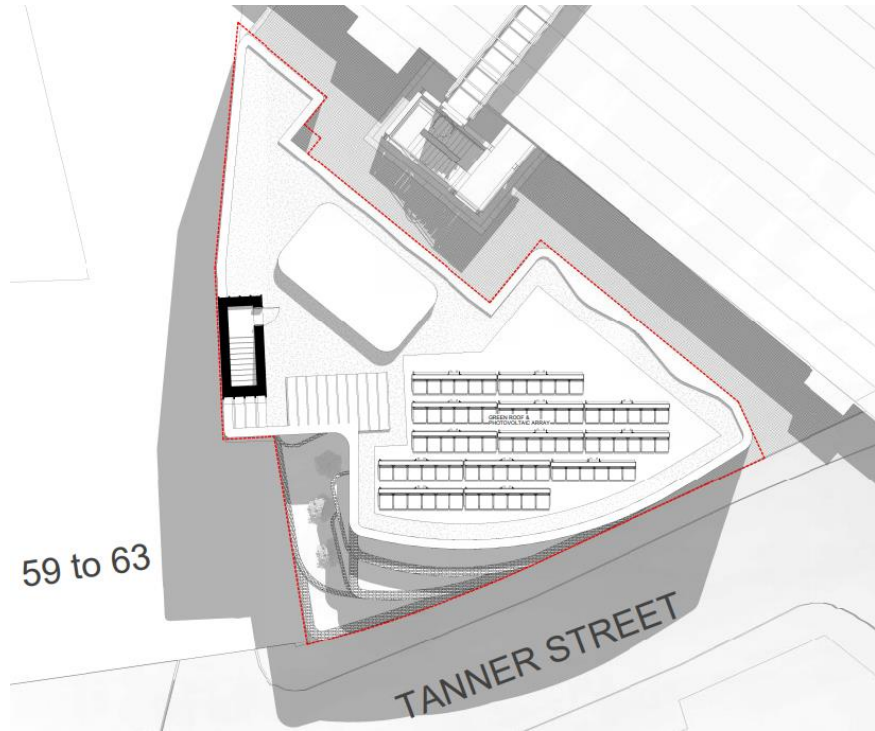


Figure 10: Proposed roof plan



Daylight and Sunlight

37. The daylight and sunlight impacts of the nine storey building were assessed under the original planning application 19/AP/0865 and it was found that there would not be an unacceptable loss of amenity to neighbouring residents.
38. BRE Guidelines sets the Vertical Sky Component (VSC) assessment which considers the potential for daylight by calculating the angle of vertical sky at the centre of each of the windows serving the residential buildings which look towards the site. The target figure for VSC recommended by the BRE is 27%, which is considered to be a good level of daylight and the level recommended for habitable rooms with windows on principal elevations. The BRE have determined that the daylight can be reduced by approximately 20% (0.8) of the original value before the loss is noticeable.
39. Given that this application seeks to enlarge the lift and stair overrun and plant enclosure, an updated assessment has been submitted. The assessment compares the impacts of the consented scheme and the proposed scheme.
40. Although there has been an increase in the plant massing on the roof, this is not visible from many of the neighbouring windows. The skyline as viewed from the neighbouring windows is generally formed by the parapets of the development and the heights of these have been marginally reduced as a result of the proposed amendments allowing slightly improved access to direct skylight for some windows.
41. A total of 117 windows have been assessed in terms of VSC. Of the 117 windows, as a result of the proposed amendments 112 would either experience the same or higher VSC values as the consented scheme. This means that the VSC values of 5 windows would reduce in comparison to the consented scheme.
42. Of the 5 windows that would experience reductions in VSC values in comparison to the consented scheme, 3 would still retain VSC values over 27% and are therefore in line with BRE Guidelines in that a good level of daylight would be achieved. One would experience a proportional reduction of 0.89 over the existing environment which is above BRE Guidelines of reductions below 0.8 resulting in a noticeable loss. The one window that would experience significant reductions upon the existing environment would be proportionally reduced by 0.33, or 0.56 with the effect of balconies and overhangs removed. This window serves a bedroom, not a principal living space, and the room is also served by another window that would not experience any noticeable impacts.
43. It is acknowledged that there would be a noticeable impact on one bedroom window, however this is mitigated by the room being served by a window which would be unaffected. The proposed amendments to the consented scheme would not have any noticeable impact on the further 116 windows assessed.

Noise

44. Given the movement of the rooftop plant, an updated Plant Noise Assessment has been submitted. The assessment identifies environmental noise, the location of the nearest noise-sensitive receptors and noise levels as a result of the proposed plant.
45. The assessment concludes that mitigation measures are required, being that atmospheric attenuators capable of achieving the minimum insertion loss values should be fitted and that the entire plant area should be enclosed by a solid screen with a minimum height of 2.2m.
46. Southwark's Environmental Protection Team have reviewed the assessment and have no objection to the calculations and proposed mitigation measures, however require a post installation validation to be carried out to ensure the agreed noise levels are met. Condition 21 pursuant to the original permission 19/AP/0865, which is a compliance condition for internal noise, has therefore been amended to require a validation test to be carried out following completion of the development and prior to the use commencing. A condition has also been recommended for the development to be carried out in accordance with the mitigation measures set out in the Plant Noise Assessment. The plant screen has been shown on the proposed plans.
47. Subject to the proposed mitigation measures, as secured by condition, the proposed amendment of re-locating and enlarging the rooftop plant room would not be considered to result in harm through increased noise disturbance to the existing neighbouring residents.

Design

48. The proposed design changes are:
 - Adjustment of window sizes and details of reveals
 - Adjustment to width and form of ground floor bays
 - Enlargement and re-positioning of lift and stair overrun and plant enclosure
 - Replacement of brick planters on west elevation with green walling
 - Introduction of a parapet detail
 - Omission of projecting brick detail on viaduct elevation
 - Addition of aluminium copings
 - Ground floor doors re-positioned

Consented scheme

49. The consented architecture has a robust, quasi-warehouse aesthetic of brickwork piers and spandrels forming large openings with deep window reveals, but with a contemporary twist that chamfers one side of each opening and staggers the window alignment to give a more dynamic appearance to the elevation. This dynamism is further accentuated by the curves in the footprint and includes the bullnose building corner adjacent to the railway viaduct, and the high level curved planter terraces adjacent to the neighbouring building.

50. At street level, the openings extend over ground and first floor visually enhancing the sense of the building's base and avoiding it appearing too squat. The tall openings feature the brickwork chamfered piers and double-height curtain wall glazing. The floorslab at first floor level is set back to provide a double-height ground floor space. The scale of the openings and angled brickwork make for a highly engaging pedestrian experience. The main hotel entrance is located at the west end of the street frontage, with an additional entrance to the restaurant space, which is located at the east end of the street frontage, adjacent to the railway viaduct and opposite the junction with Maltby Street and Ropewalk.
51. The application site is outside a conservation area, the nearest being the easternmost edge of the Bermondsey Street Conservation Area to the west along Tanner Street. There are no nearby statutory listed buildings, the former warehouses at 45-49 Tanner Street that straddle the conservation area boundary are locally listed. However, the bend in the road and its narrow width and context of large buildings severely limits any intervisibility between the site and the heritage assets.

Proposed scheme

Figure 11: View from Tanner Street



Height and massing

52. The proposed changes only marginally affect the overall height of the building, which is shown as 29.92m, remaining just below the 30m threshold to be considered as a tall building under Policy P17 (Tall buildings) of the Southwark Plan 2022. The floor-to-floor heights and parapet heights have been slightly adjusted to accommodate the slight increase in core overrun heights. The height remains acceptable.
53. The general massing largely remains the same, retaining its quadrant footprint and built form, although there are some detailed adjustments to the setbacks of the tiered floors above fifth floor level. Whilst the east corner remains as consented, the facade line is altered at its west end, with its original articulated form smoothed out into more of a gentle curve. Aluminium copings are also added. The projecting curved brickwork planters at sixth to eighth floors at its west end have been omitted. Furthermore, at roof level the overrun and plant enclosure have been re-planned and extended.

Elevations

54. In terms of the elevational designs, the facade line of the double-height curtain walling has been slightly smoothed out and no longer appears so deeply set within the brickwork piers. The additional corner entrance at ground floor has been re-located to the flank elevation, facing onto the service yard between the building and railway viaduct. The double doors to the bin enclosure within the service yard have been repositioned.
55. At first floor and above, the size and ordering of the bedroom window openings have changed and the depth of the windows reveals similarly no-longer appear as deep as the consented scheme. Green walling is shown to cover the return and setback elevations on the uppermost floor levels. The curved brickwork projections on the flank facade onto the railway viaduct have been adjusted and appear to curve slightly inwards only.
56. With the proposed amendments, the overall architectural approach of a robust brickwork building with a quasi-warehouse aesthetic has remained. The double height appearance of the ground floor remains unaffected. The piers over ground and first floor level have narrowed to an extent and the articulation of the brickwork and curtain walling has lessened. However, the columns remain sufficiently wide to read as primary structural columns that ground the building, maintaining a good sense of the building's base. Some articulation of the brickwork and curtain walling remains, with the outer edges of the brickwork openings / window frames shown recessed 330mm from the front facade line. The depth of reveal and articulation are sufficient to convey a reasonable sense of robustness and provide visual interest.
57. Above the ground and first floor on the street elevation the hotel room window openings have become square in proportion compared to the consented scheme. The underlying character of the asymmetrical design of the opening is generally retained, albeit less expressive compared to the consented scheme where the reveals appeared deeper. Whilst deeper reveals were

requested, the applicant has responded that doing so would compromise the provision of secondary glazing. Nonetheless, the 300mm reveal is sufficient to convey the asymmetry and visual robustness of the openings.

58. The adjustment to the window proportions, combined with the shallower depth of reveals, has meant that the openings are no longer as staggered in their arrangement across the elevation as the consented scheme, but remain sufficiently offset to maintain the architectural language. The curved appearance of the street facade is retained, although the loss of the additional curved projecting planters reduces the visual interest at upper floor levels.
59. Overall, whilst there has been a reduction in the strong dynamic quality of the architecture, taken together the curved facade and revised asymmetrical window designs are sufficient to maintain the visual interest. This is evident from the junction with Maltby Road, where the visual contributions of the curved layout and setback upper floors are most apparent.
60. In addition to the changes to the proportions of the windows, the detailed height of the final storey of windows has been reduced from 2.70 down to 2.25m. The shortfall has been made up by an increase in height of the parapet, which has risen from 0.8m to 1.2m. The applicant has indicated that the consented tall windows could not be achieved due to the thickness of the roofslab, but that the windows are some 225mm taller than those on the main floors below. This is regrettable as the extended window heights of the consented scheme gave a loftier appearance to the final storey, distinguishing it as the top or 'crown' of the building. Whilst the proposed windows are taller than the floors below, the difference when viewed over eight storeys is not especially evident. As such, the tripartite elevational hierarchy and understated termination of the facade is lost. Whilst the moderately articulated elevation eases any monotony, the outcome is a notable reduction of the compositional design quality. On balance, the changes to the parapet are considered acceptable.
61. The rear elevation has always been regarded as the secondary elevation, albeit it is highly visible from the adjacent railway and therefore of importance. Compared to the approved scheme, the designs have similarly become calmer in the appearance of the brickwork panels containing the window openings, which previously undulated in the approved scheme. In the revised scheme, the modest forward projections of the brickwork have been omitted, although the inward curves and angled window frames are retained and are sufficient to provide visual interest. The increase in width of the windows is modest and has little impact in this instance, as the windows on this elevation were always designed to be vertically ordered.

Urban greening

62. The replacement of the planters with a green wall is on balance supported, maintaining the visual amenity of the greenery at high level and softening the architecture. The details for the green wall are subject to condition to ensure that this is provided should planning permission be granted.

Lift and stair overrun and plant enclosure

63. Regarding the roof plant enclosure, the extent has increased, but remains sufficiently set back from the street elevation and the initial return of the flank/rear elevation to maintain a clean parapet line when viewed from the public realm. It will be visible from the railway, but is less of a problem. The PVs are located beyond the enclosure but are sufficiently set back from the building's edge to be obscured by the low parapet wall. The core overrun will be seen from the street, but limited to glimpsed views from the west above the neighbouring building, and glimpsed above the parapet of the forward building shoulder line when seen directly head on. The structure is finished in standing seam metalwork and is sufficiently complementary to the main architecture, particularly given its limited visibility.
64. At roof level, the simplification of the overruns into a single structure has made it slightly more apparent than the consented scheme, albeit it is positioned above the recessed element of the street frontage and is finished in standing seam zinc, which is generally low-key. Its visual impact would therefore be limited.
65. The structure is mostly obscured from wider townscape views by the built up character of the street. Elsewhere at roof level, whilst the plant enclosure has widened, its height has been brought down by 450mm, which should help ease its impact. A submitted section drawing confirms that the structure would be obscured from views from street level within Tanner Street, due to the built-up character of the streetscape. Furthermore, the plant is generally well recessed and should not present as rooftop clutter in the axial view along Maltby Street. Whilst the view from the elevated railway can be considered a public view that has an importance, in this instance the plant would read as part of the quasi-industrial character which is often seen abutting the railway.

Summary

66. The proposed development seeks amendments to the consented scheme and these are considered appropriate in design terms.

Urban greening

67. The original planning permission 19/AP/0865 was approved prior to the London Plan 2021 requirement for an Urban Greening Factor of 0.3 to be achieved. Notwithstanding this, the proposed development included brick planters on the west elevation and a green roof.
68. Policy G5 (Urban greening) of the London Plan 2021 sets an Urban Greening Factor target score of 0.3 for predominantly commercial development.
69. This application seeks an amendment to the consented scheme of removing the planters and providing climbers on a stainless steel frame on the west elevation, covering an area of 64.5sqm. The green roof on 108sqm would not change as a result of this application.

Figure 12: Proposed vs. Consented – West Elevation

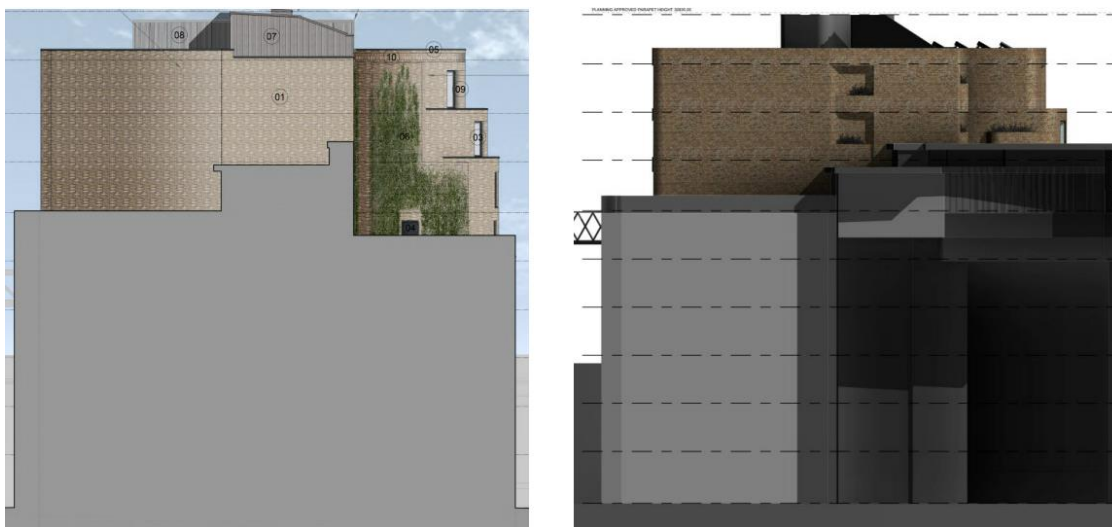


Figure 13: Stainless steel climbers and green roof



70. The amended scheme would achieve an Urban Greening Factor of 0.345 exceeding the current policy target. For comparison, the consented scheme achieved an Urban Greening Factor of 0.234 which would not meet the current policy target.
71. A condition has been recommended requiring the climbers to be installed within 6 months occupation and maintained as such thereafter.

Other matters

72. Under S.73 applications conditions from the original planning permission are generally re-applied, however can be added, removed or edited. Conditions are required to meet the six tests of: necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other aspects. On this basis, some conditions attached to the original planning permission 19/AP/0865 are no longer applicable and have been omitted or are subject to compliance as previously approved.

Consultation responses from internal and divisional consultees

73. Summarised below are the material planning considerations raised by internal and divisional consultees, along with the officer's response.
74. Environmental Protection Team:
- No objections to the calculations and propose mitigating measures in the noise report but will require a post installation valuation to be carried out
 - Advise a condition for a validation test
 - Previous conditions (including odour) must be carried over from the consented scheme
75. Design and Conservation Team:
- No objection – comments in the Design section of this report

Planning obligations

76. In the event that the Section 106 agreement pursuant to 19/AP/0865 has not been endorsed by 13 June 2024, it is recommended that the Director of Planning and Growth refuses planning permission, if appropriate, for the following reason:

“The proposal, by failing to provide for appropriate planning obligations secured through the completion of a S106 agreement, fails to ensure adequate provision of mitigation against the adverse impacts of the development through projects or contributions, contrary to: Policy DF 1 (‘Planning Obligations’) of the London Plan 2021; Policy IP3 (‘Community Infrastructure Levy (CIL) and Section 106 Planning Obligations’) of the Southwark Plan; and the Southwark ‘Section 106 Planning Obligations and Community Infrastructure Levy SPD’ 2015”.

Consultation responses from external consultees

77. No responses have been received from external consultees.

Community impact and equalities assessment

78. The council must not act in a way which is incompatible with rights contained within the European Convention of Human Rights.
79. The council has given due regard to the above needs and rights where relevant or engaged throughout the course of determining this application.
80. The Public Sector Equality Duty (PSED) contained in Section 149 (1) of the Equality Act 2010 imposes a duty on public authorities to have, in the exercise of their functions, due regard to three "needs" which are central to the aims of the Act:
1. The need to eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
 2. The need to advance equality of opportunity between persons sharing a relevant protected characteristic and persons who do not share it. This involves having due regard to the need to:
 - Remove or minimise disadvantages suffered by persons who share a relevant protected characteristic that are connected to that characteristic
 - Take steps to meet the needs of persons who share a relevant protected characteristic that are different from the needs of persons who do not share it
 - Encourage persons who share a relevant protected characteristic to participate in public life or in any other activity in which participation by such persons is disproportionately low
 3. The need to foster good relations between persons who share a relevant protected characteristic and those who do not share it. This involves having due regard, in particular, to the need to tackle prejudice and promote understanding.
81. The protected characteristics are: race, age, gender reassignment, pregnancy and maternity, disability, sexual orientation, religion or belief, sex, marriage and civil partnership.

Human rights implications

82. This planning application engages certain human rights under the Human Rights Act 1998 (the HRA). The HRA prohibits unlawful interference by public bodies with conventions rights. The term 'engage' simply means that human rights may be affected or relevant.

83. This application has the legitimate aim of amending planning permission 19/AP/0865. The rights potentially engaged by this application, including the right to a fair trial and the right to respect for private and family life are not considered to be unlawfully interfered with by this proposal.

Positive and proactive statement

84. The council has published its development plan on its website together with advice about how applications are considered and the information that needs to be submitted to ensure timely consideration of an application. Applicants are advised that planning law requires applications to be determined in accordance with the development plan unless material considerations indicate otherwise.
85. The council provides a pre-application advice service that is available to all applicants in order to assist applicants in formulating proposals that are in accordance with the development plan and core strategy and submissions that are in accordance with the application requirements.

Positive and proactive engagement: summary table

Was the pre-application service used for this application?	NO
If the pre-application service was used for this application, was the advice given followed?	N/A
Was the application validated promptly?	YES
If necessary/appropriate, did the case officer seek amendments to the scheme to improve its prospects of achieving approval?	YES
To help secure a timely decision, did the case officer submit their recommendation in advance of the statutory determination date?	YES

CONCLUSION

86. The proposal seeks to vary Condition 1 (Approved plans) of planning permission 19/AP/0865. Key changes include the re-location of the lift and stair overrun and plant enclosure, elevation amendments and the replacement of brick planters with climbers on a stainless steel frame. The proposed development is acceptable in terms of design and would not adversely impact on the amenity of neighbouring occupiers. It is therefore recommended that the application is approved, subject to conditions and endorsement of the Section 106 agreement pursuant to planning permission 19/AP/0865.

BACKGROUND DOCUMENTS

Background Papers	Held At	Contact
Southwark Local Development Framework and Development Plan Documents	Environment, Neighbourhoods & Growth Department 160 Tooley Street London SE1 2QH	Planning enquiries telephone: 020 7525 5403 Planning enquiries email: planning.enquiries@southwark.gov.uk Case officer telephone: 0207 525 0254

APPENDICES

No.	Title
Appendix 1	Recommendation - Draft Decision Notice
Appendix 2	Relevant planning history
Appendix 3	Planning policies
Appendix 4	Consultation responses received
Appendix 5	Consultation undertaken

AUDIT TRAIL

Lead Officer	Stephen Platts, Director of Planning and Growth	
Report Author	Abbie McGovern, Team Leader	
Version	Final	
Dated	19 February 2024	
Key Decision	No	
CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER		
Officer Title	Comments Sought	Comments included
Strategic Director of Finance	No	No
Strategic Director of Environment Neighbourhood and Growth	No	No
Strategic Director of Housing	No	No
Date final report sent to Constitutional Team		29 February 2024

Recommendation

This document shows the case officer's recommended decision for the application referred to below.

This document is not a decision notice for this application.

Applicant	Mr ROB COPPER DECO DESIGN AND BUILD LTD	Reg. Number	22/AP/2746
Application Type	S.73 Vary/Remove Conds/Minor Alterations		
Recommendation		Case Number	79-59

Draft of Decision Notice

for the following development:

Minor material amendment to Condition 1 for planning application 19/AP/0865 dated 29/01/2021 for 'Construction of a 9 storey plus basement building to provide an 73 bedroom hotel with restaurant at ground floor level and associated cycle parking, refuse and recycling stores, and plant'. Amendments include adjustment of window sizes and positions, enlargement of lift and stair overrun and plant enclosure and replacement of brick planters on west elevation with green walling.

67-71 Tanner Street London Southwark SE1 3PL

In accordance with application received on 2 August 2022 and Applicant's Drawing Nos.:

WINDOW REVEAL DETAILS - SECOND FLOOR VIADUCT ELEVATION NST-0359-2002 REV P1 received 13/02/2024

WINDOW REVEAL DETAILS - GROUND FLOOR TANNER STREET ELEVATION NST-0359-2001 REV P1 received 13/02/2024

WINDOW REVEAL DETAILS - SECOND FLOOR TANNER STREET ELEVATION NST-0359-2000 REV P1 received 13/02/2024

WEST ELEVATION NST-0359-1202 REV P5 received 13/02/2024
NORTH EAST ELEVATION NST-0359-1201 REV P5 received 13/02/2024
SOUTH EAST ELEVATION NST-0359-1200 REV P5 received 13/02/2024
EIGHTH FLOOR PLAN NST-0359-1019 REV P3 received 13/02/2024
SEVENTH FLOOR PLAN NST-0359-1018 REV P3 received 13/02/2024
FIFTH FLOOR PLAN NST-0359-1016 REV P3 received 13/02/2024
FOURTH FLOOR PLAN NST-0359-1015 REV P2 received 13/02/2024
THIRD FLOOR PLAN NST-0359-1014 REV P2 received 13/02/2024
SECOND FLOOR PLAN NST-0359-10134 REV P2 received 13/02/2024
FIRST FLOOR PLAN NST-0359-1012 REV P2 received 13/02/2024
GROUND FLOOR PLAN NST-0359-1011 REV P3 received 13/02/2024
BASEMENT FLOOR PLAN NST-0359-1010 REV P2 received 13/02/2024
CYCLE STORE 22/AP/2746 REV P1 received 13/02/2024
PARAPET DETAILS NST-0359-2003 REV P1 received 13/02/2024
SECTION NST-0359-1300 REV P3 received 13/02/2024
ROOF PLAN NST-0359-1020 REV P2 received 13/02/2024
SIXTH LOOR PLAN NST-0359-1017 REV P3 received 13/02/2024
PROPOSED SITE PLAN NST-0359-1001 REV P2 received 13/02/2024
SITE PLAN NST-0359-1000 REV P2 received 13/02/2024

Permission is subject to the following Grade Conditions

2. Unless previously approved pursuant to planning permission 19/AP/0865, before any above grade work hereby authorised begins, details of the biodiversity green roof shall be submitted to and approved in writing by the Local Planning Authority. The biodiversity (green/brown) roof(s) shall be:
 - * biodiversity based with extensive substrate base (depth 80-150mm);
 - * laid out in accordance with agreed plans; and
 - * planted/seeded with an agreed mix of species within the first planting season following the practical completion of the building works (focused on wildflower planting, and no more than a maximum of 25% sedum coverage).

The biodiversity green roof shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair, or escape in case of emergency. The biodiversity roof shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.

Discharge of this condition will be granted on receiving the details of the green roof and Southwark Council agreeing the submitted plans, and once the green roof is completed in full in accordance to the agreed plans.

Reason:

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with the National Planning Policy Framework 2023, Policies G5 (Urban greening) and G6 (Biodiversity and access to nature) of the London Plan 2021 and Policies P59 (Green infrastructure), P60 (Biodiversity) and P61 (Trees) of the Southwark Plan 2021.

3. Unless previously approved pursuant to planning permission 19/AP/0865, prior to above grade works commencing, material sample of all external facing materials to be used in the carrying out of this permission shall be submitted to and approved in writing by the Local Planning Authority; the development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

In order to ensure that these samples will make an acceptable contextual response in terms of materials to be used, and achieve a quality of design and detailing in accordance with the National Planning Policy Framework 2023, Policy D4 (Delivering good design) of the London Plan 2021 and Policy P14 (Residential design) of the Southwark Plan 2022.

4. The development hereby approved shall be carried out in accordance with the signage strategy for the new building approved under planning permission 23/AP/2563.

Reasons:

In order that the Local Planning Authority may be satisfied as to the quality of the design and details in accordance with the National Planning Policy Framework 2023, Policy D4 (Delivering good design) of the London Plan 2021 and Policy P14 (Residential design) of the Southwark Plan 2022.

Permission is subject to the following Pre-Occupation Conditions

5. Unless previously approved pursuant to planning permission 19/AP/0865, prior to the occupation of the hotel hereby approved, a Service Management Plan detailing how all elements of the site are to be serviced shall be submitted to and approved in writing by the Local Planning Authority.

The development shall be carried out in accordance with the approval given and shall remain for as long as the development is occupied.

Reason:

To ensure compliance with the National Planning Policy Framework 2023, Policy T7 (Deliveries, servicing and construction) of the London Plan 2021 and Policies P50 (Highways impacts) and P56 (Protection of amenity) of the Southwark Plan 2022.

6. Unless previously approved under planning application 24/AP/0234, prior to the occupation of the hotel hereby approved, the applicant shall provide a hotel management plan that will demonstrate what measures shall be undertaken in order to manage noise from the guests from the hotel.

Reason:

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance from guests of the hotel, in accordance with the National Planning Policy Framework 2023 and Policy P56 (Protection of amenity) of the Southwark Plan 2022.

7. Prior to the occupation of the hotel hereby approved, details of the biodiverse green wall along with a long-term maintenance schedule shall be submitted to and approved in writing by the Local Planning Authority.

Details shall include:

- 1) A scaled plan showing location, type and materials to be used for the green wall including specifications, where applicable;
- 2) Elevations and cross-section showing the build-up of the green wall;
- 3) A schedule detailing sizes and numbers/densities of all proposed plants; and,
- 4) Specifications for operations associated with plant establishment and maintenance that are compliant with best practice.

The green wall shall be:

- Installed within 6 months of completion of the building;
- Laid out with a fire resistant sandwich board with a fire rating of A2-S1-d0 or higher;
- Laid out with a steel frame with a fire resistance of at least 60 minutes;
- Installed with Fire Breaks every 2m of the elevation;
- Installed with an automated irrigation system which maintains moisture levels at, at least 45%;
- Planted/seeded with an agreed mix of species within the first planting season following the practical completion of the building works (focused on plants with non-oily leaves and low leaf litter drop); and,
- Carried out strictly in accordance with the details so approved and shall be maintained as such thereafter, for the lifespan of the building.

Reason:

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance the National Planning Policy Framework, Policies SI 4 (Managing heat risk), SI 13 (Sustainable drainage), G1 (Green Infrastructure) and G5 (Urban Greening) of the London Plan 2021 and Policies P56 (Protection of amenity) and P60 (Biodiversity) of the Southwark Plan 2022.

8. Prior to the occupation of the hotel hereby approved, detailed plans, sections and elevations (where relevant) at a scale of 1:10 and 1:5 through:
 - a. doors (including entrance provision onto courtyard), and
 - b. window frames and any ventilation grilles

to be used in the carrying out of this permission shall be submitted to and approved by the Local Planning Authority in writing before any work in connection with this permission is commenced; the development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

In order that the Local Planning Authority may be satisfied as to the quality of the design and details in accordance with the National Planning Policy Framework 2023, Policy D4 (Delivering good design) of the London Plan 2021 and Policy P14 (Residential design) of the Southwark Plan 2022.

Permission is subject to the following Compliance Conditions

9. The development hereby approved shall be carried out in accordance with the full particulars and details of a scheme for the extraction and venting of odours, fats and particulate matter from the cooking activities approved under planning permission 23/AP/1116. The development shall not be carried out otherwise than in accordance with any approval given.

Reason:

In order to ensure that that any installed ventilation, ducting and ancillary equipment in the interests of amenity will not cause amenity impacts such as odour, fume or noise nuisance and will not detract from the appearance of the building in accordance with the National Planning Policy Framework 2023 and Policy P56 (Protection of amenity) of the Southwark Plan 2022.

10. The development hereby approved shall be carried out in accordance with details of security measures approved under planning permission 22/AP/0286. Any such security measures shall be implemented prior to occupation in accordance with the approved details which shall seek to achieve the 'Secured by Design' accreditation award from the Metropolitan Police.

Reason:

In pursuance of the Local Planning Authority's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions and to improve community safety and crime prevention, in accordance with: the National Planning Policy Framework 2023, Policy D11 (Safety, security and resilience to emergency) of the London Plan 2021 and Policy P16 (Designing out crime) of the Southwark Plan 2022.

11. Before the first occupation of the building, the cycle storage facilities as shown on the drawings hereby approved shall be provided and made available to the users of the development. Thereafter, such facilities shall be retained and the space used for no other purpose and the development shall not be carried out otherwise in accordance with any such approval given.

Reason:

To ensure that satisfactory safe and secure bicycle parking is provided and retained for the benefit of the users and occupiers of the building in order to encourage the use of alternative means of transport and to reduce reliance on the use of the private car in accordance with the National Planning Policy Framework 2023, Policy T5 (Cycling) of the London Plan 2021 and Policy P53 (Cycling) of the Southwark Plan 2022.

12. Before the first occupation of the building hereby permitted, the refuse storage arrangements shall be provided as detailed on the drawings hereby approved and shall be made available for use by the occupiers of the premises.

The facilities provided shall thereafter be retained and shall not be used or the space used for any other purpose.

Reason:

To ensure that the refuse will be appropriately stored within the site thereby protecting the amenity of the site and the area in general from litter, odour and potential vermin/pest nuisance in accordance with the National Planning Policy Framework 2023 and Policies P56 (Protection of amenity) and P62 (Reducing waste) of the Southwark Plan 2022.

13. The development hereby approved shall be carried out in accordance with the mitigation measures identified in Plant Noise Assessment 11622.RP03.PNA.0 RBA Acoustics 12 January 2023.

Reason:

To ensure that the occupiers and users of the development do not suffer a loss of amenity by reason of excess noise from environmental and transportation sources in accordance with the National Planning Policy Framework 2023, Policy D14 (Noise) of the London Plan 2021 and Policies 56 (Protection of amenity) and P66 (Reducing noise pollution and enhancing soundscapes) of the Southwark Plan 2022.

14. Any deliveries, unloading and loading to the commercial unit hereby approved shall only be between the following hours: Monday to Friday - 08:00 to 20:00.

Reason:

To ensure that and occupiers of the development and occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance in accordance with the National Planning Policy Framework 2023, Policy T7 (Deliveries, servicing and construction) of the London Plan 2021 and Policies P50 (Highways impacts) and P56 (Protection of amenity) of the Southwark Plan 2022.

15. The flood resilience details as outlined within paragraph 4.2 of the submitted flood risk assessment ref:A18282 rev 09 dated January 2020 shall be employed and retained thereafter unless otherwise agreed with the Local Planning Authority.

Reason:

To prevent the increased risk of flooding in accordance with the National Planning Policy Framework 2023, Policy SI 12 (Flood risk management) of the London Plan 2021 and Policy P68 (Reducing flood risk) of the Southwark Plan 2022.

16. The Rated sound level from any plant, together with any associated ducting shall not exceed the Background sound level (LA90 15min) at the nearest noise sensitive premises. Furthermore, the Specific plant sound level shall be 10dB(A) or more below the background sound level in this location. For the purposes of this condition the Background, Rating and Specific Sound levels shall be calculated fully in accordance with the methodology of BS4142:2014.

Reason

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance or the local environment from noise creep due to plant and machinery in accordance with the National Planning Policy Framework 2023, Policy D14 (Noise) of the London Plan 2021 and Policies 56 (Protection of amenity) and P66 (Reducing noise pollution and enhancing soundscapes) of the Southwark Plan 2022.

Permission is subject to the following Special Conditions

17. a) The development hereby approved shall be carried out in accordance with the Travel Plan approved under planning permission 23/AP/1091.
- b) At the start of the second year of operation of the approved Travel Plan, a detailed survey showing the methods of transport used by all those users of the building to and from the site and how this compares with the proposed measures and any additional measures to be taken to encourage the use of public transport, walking and cycling to the site shall be submitted to and approved in writing by the Local Planning Authority and the development shall not be carried out otherwise in accordance with any such approval given.

Reason:

In order that the use of non-car based travel is encouraged in accordance the National Planning Policy Framework 2023, Policy T4 (Assessing and mitigating transport impacts) of the London Plan 2021 and Policies P50 (Highways impacts) and P56 (Protection of amenity) of the Southwark Plan 2022.

18. Unless previously approved pursuant to planning permission 19/AP/0865, within 6 months of completion of the archaeological mitigation works the applicant shall submit a brief summary report on the results of the archaeological mitigation works to the Local Planning Authority for approval in writing. No further development shall take place until that written approval is received, which will allow the development to be carried out without further archaeological on-site fieldwork, and will allow the archaeological post-excavation analysis work to commence.

Reason:

To ensure the preservation of archaeological remains by record or in situ to identify and record any features of archaeological interest discovered during the works, and in order to mitigate the impact of the works on the archaeological resource, in accordance with the National Planning Policy Framework 2023, Policy HC1 (Heritage conservation and growth) of the London Plan 2021 and Policy P23 (Archaeology) of the Southwark Plan 2022.

19. a) Based on the report EPT is satisfied with the remediation strategy for the protection of water supply pipes and the gas protection membrane.
- b) In the event that potential contamination is found at any time when carrying out the approved development that was not previously identified, it shall be

reported in writing immediately to the Local Planning Authority, and a scheme of investigation and risk assessment, a remediation strategy and verification report (if required) shall be submitted to the Local Planning Authority for approval in writing, in accordance with a) above.

Reason:

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with the National Planning Policy Framework 2023 and Policy P64 (Contaminated land and hazardous substances) of the Southwark Plan 2022.

20. Whilst the principles and installation of sustainable drainage schemes are to be encouraged, no drainage systems for the infiltration of surface water drainage into the ground are permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to Controlled Waters. The development shall be carried out in accordance with the approval details.

Reason:

Infiltrating water has the potential to cause remobilisation of contaminants present in shallow soil/made ground which could ultimately cause pollution of groundwater, in accordance with the National Planning Policy Framework 2023, Policies SI 12 (Flood risk management) and SI 13 (Sustainable drainage) of the London Plan 2021 and Policies Policy P68 (Flood risk) of the Southwark Plan 2022.

21. If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until the developer has submitted, and obtained written approval from the Local Planning Authority for, a remediation strategy detailing how this unsuspected contamination shall be dealt with. The remediation strategy shall be implemented as approved, verified and reported to the satisfaction of the Local Planning Authority.

Reason:

There is always the potential for unexpected contamination to be identified during development groundworks. We should be consulted should any contamination be identified that could present an unacceptable risk to Controlled Waters (the site is located above a Secondary Aquifer), in

accordance with the National Planning Policy Framework 2023 and Policy P64 (Contaminated land and hazardous substances) of the Southwark Plan 2022.

22. Within six months of the completion of the archaeological work on site, an assessment report detailing the proposals for the off-site analyses and post-excavation works, including publication of the site and preparation for deposition of the archive, shall be submitted to and approved in writing by the Local Planning Authority, and the works detailed in the assessment report shall not be carried out otherwise than in accordance with any such approval given. The assessment report shall provide evidence of the applicant's commitment to finance and resource these works to their completion.

Reason:

In order that the archaeological interest of the site is secured with regard to the details of the post-excavation works, publication and archiving to ensure the preservation of archaeological remains by record in accordance with the National Planning Policy Framework 2023, Policy HC1 (Heritage conservation and growth) of the London Plan 2021 and Policy P23 (Archaeology) of the Southwark Plan 2022.

23. The rooms hereby permitted shall be designed to ensure that the following internal noise levels are not exceeded due to environmental noise:

Bedrooms - 35dB LAeq T†, 30 dB LAeq T*, 45dB LAFmax T *

Living rooms- 35dB LAeq T †

Dining room - 40 dB LAeq T †

* - Night-time - 8 hours between 23:00-07:00

† - Daytime - 16 hours between 07:00-23:00

Following completion of the development and prior to occupation, a validation test shall be carried out on a relevant sample of premises. The results shall be submitted to the LPA for approval in writing. The approved scheme shall be implemented and permanently maintained thereafter.

Reason:

To ensure that the occupiers and users of the development do not suffer a loss of amenity by reason of excess noise from environmental and transportation sources in accordance with the National Planning Policy Framework 2023, Policy D14 (Noise) of the London Plan 2021 and Policies 56 (Protection of amenity) and P66 (Reducing noise pollution and enhancing soundscapes) of the Southwark Plan 2022.

Relevant planning history

Reference and Proposal	Status
<p>19/AP/0865 Construction of a 9 storey plus basement building to provide an 73 bedroom hotel with restaurant at ground floor level and associated cycle parking, refuse and recycling stores, and plant.</p>	<p>GRANTED - Major Application 29/01/2021</p>

Planning Policies

National Planning Policy Framework (the framework)

The revised National Planning Policy Framework ('NPPF') was published December 2023 which sets out the national planning policy and how this needs to be applied. The NPPF focuses on sustainable development with three key objectives: economic, social and environmental. Paragraph 218 states that the policies in the Framework are material considerations, which should be taken into account in dealing with applications.

The relevant chapters from the Framework are:

- Chapter 2 Achieving sustainable development
- Chapter 8 Promoting healthy and safe communities
- Chapter 9 Promoting sustainable transport
- Chapter 11 Making effective use of land
- Chapter 12 Achieving well-designed places
- Chapter 14 Meeting the challenge of climate change, flooding and coastal change
- Chapter 15 Conserving and enhancing the natural environment
- Chapter 16 Conserving and enhancing the historic environment

The London Plan 2021

On 2 March 2021, the Mayor of London published the London Plan 2021. The spatial development strategy sets a strategic framework for planning in Greater London and forms part of the statutory Development Plan for Greater London. The relevant policies are:

- Policy D4 Delivering good design
- Policy D14 Noise
- Policy G1 Green infrastructure
- Policy G5 Urban greening
- Policy G6 Biodiversity and access to nature

Southwark Plan 2022

The Southwark Plan 2022 was adopted on 23 February 2022. The plan provides strategic policies, development management policies, area visions and site allocations which set out the strategy for managing growth and development across the borough from 2019 to 2036. The relevant policies are:

- Policy P14 Design quality
- Policy P56 Protection of amenity
- Policy P59 Green infrastructure
- Policy P60 Biodiversity
- Policy P66 Reducing noise pollution and enhancing soundscapes

Consultation undertaken

Site notice date: 12/08/2022

Press notice date: n/a.

Case officer site visit date: 12/08/2022

Neighbour consultation letters sent: 09/08/2023

Internal services consulted:

LBS Design & Conservation Team

LBS Environmental Protection

Neighbour and local groups consulted:

Flat 1 61 Tanner Street London

63 Tanner Street London Southwark

Flat 13 61 Tanner Street London

Flat 14 61 Tanner Street London

Flat 11 61 Tanner Street London

Flat 8 61 Tanner Street London

Flat 5 61 Tanner Street London

Flat 2 61 Tanner Street London

59 Tanner Street London Southwark

Flat 12 61 Tanner Street London

Flat 10 61 Tanner Street London

Flat 9 61 Tanner Street London

Flat 7 61 Tanner Street London

Flat 6 61 Tanner Street London

Flat 4 61 Tanner Street London

Flat 3 61 Tanner Street London

Consultation responses received

Internal services:

LBS Design & Conservation Team

LBS Environmental Protection

Neighbour and local groups consulted:

10/61 Tanner Street London SE1

Flat 7, 55 Tanner Street London SE1 3PN

Flat 7, 55 Tanner Street London SE1 3PN

Flat 9 61-63 Tanner Street London

60 Tyler Street Greenwich London

61 Tanner street London SE1 3PP

Flat 6 61 Tanner Street London

Flat 8, 55 Tanner Street London SE1 3PN

Flat 2 61 Tanner Street London

Flat 11 61 Tanner St London

Flat3, 61 Tanner Street London SE1 3PP

Nordheimstr. 4 Frankfurt am Main 60596

Flat 1, 61 Tanner St London SE1 3PP

Flat 14 61 Tanner Street London SE!